

TERRA-MAX ENGINEERING, INC.

1507 S. HIAWASSEE ROAD, SUITE 211
ORLANDO FLORIDA 32835
TEL: (407) 578-2763 FAX: (407) 578-2953

FAIRBANKS RETAIL

WESTSIDE PLAZA DEVELOPMENT PLAN

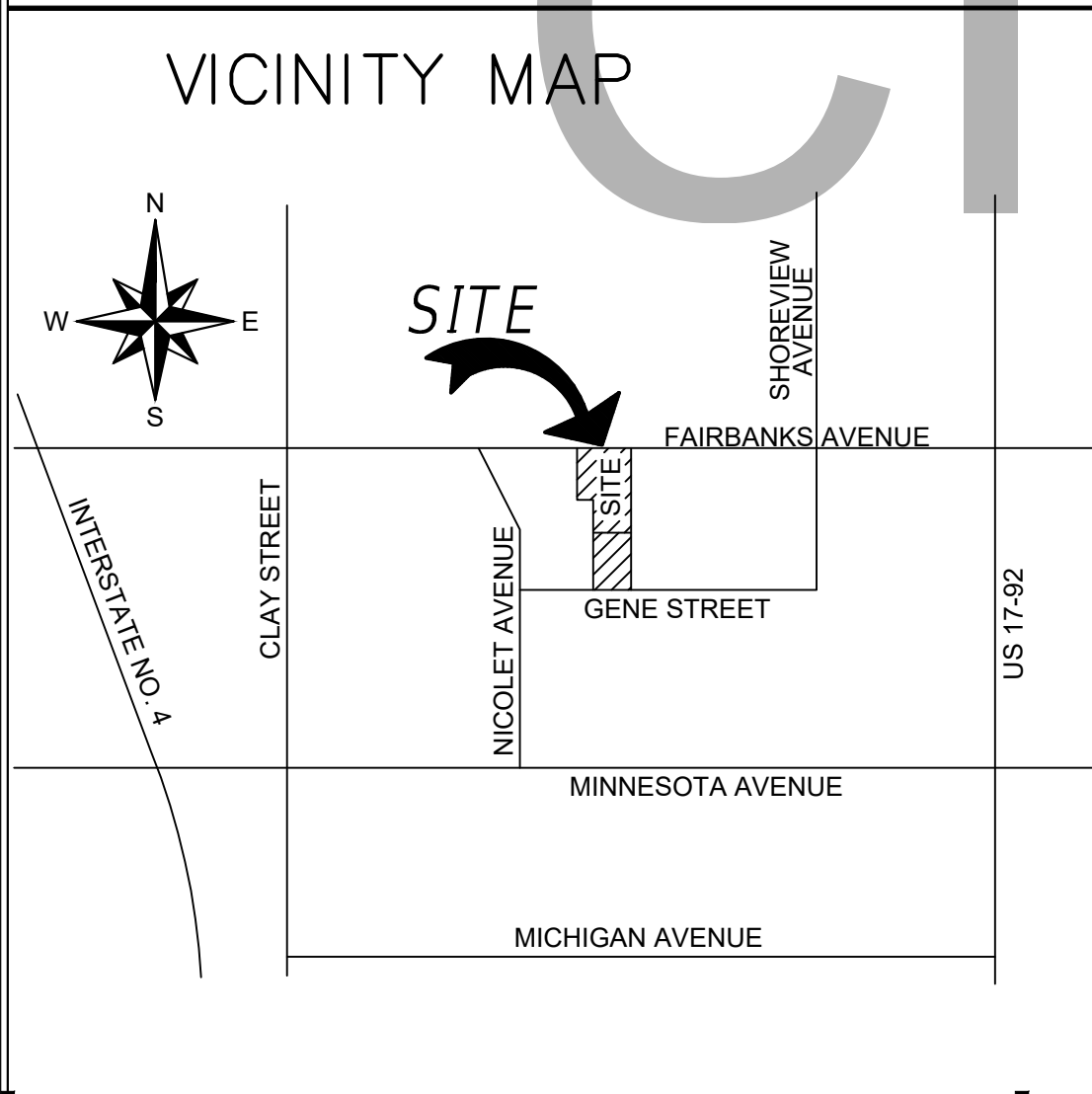
1490 W. FAIRBANKS AVENUE AND 1493 GENE STREET

WINTER PARK, FLORIDA

12-22-29-0000-00-025

12-22-29-5004-02-060

CIVIL BID SET 6-2-22



LEGAL DESCRIPTION
PARCEL 1:
 BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 12, TOWNSHIP 22 SOUTH, RANGE 29 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN WEST 100 FEET; THENCE RUN SOUTH 170.0 FEET; THENCE RUN EAST 32 FEET; THENCE RUN SOUTH 55 FEET; THENCE RUN EAST 68 FEET; THENCE RUN NORTH 225 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPT THAT PART GIVEN TO THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, AS SHOWN IN THAT CERTAIN DEED RECORDED IN OFFICIAL RECORDS BOOK 2372, PAGE 939, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 2:
 LOT 6, BLOCK B, LAWDALE, THIRD ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK L, PAGE 95, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

CONTAINS: 23,565 SQUARE FEET OR 0.541 ACRES MORE OR LESS.

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
△	6/4/2021	PER CITY COMMENTS FOR FDOT	C1, C2, C3, C3.1, C5, C9	EDITS FOR CLARITY, REVISED FFE AND NEW PAGE	RMK
△	6/9/2021	FOR FDOT	CS, C1, C2, C3, C3.2	EDITS BASED ON COMMENTS RECEIVED	RMK
△	12/29/2021	PER CITY AND FDOT COMMENTS	CS, C1, C3, C3.1, C4.0, C4.1, C4.2, C4.3, C4.4, C10	EDITS BASED ON COMMENTS RECEIVED	RMK
△	6/2/2022	PER CITY AND FDOT COMMENTS	CS, C6, C11	EDITS BASED ON COMMENTS RECEIVED	RMK

SHEET INDEX

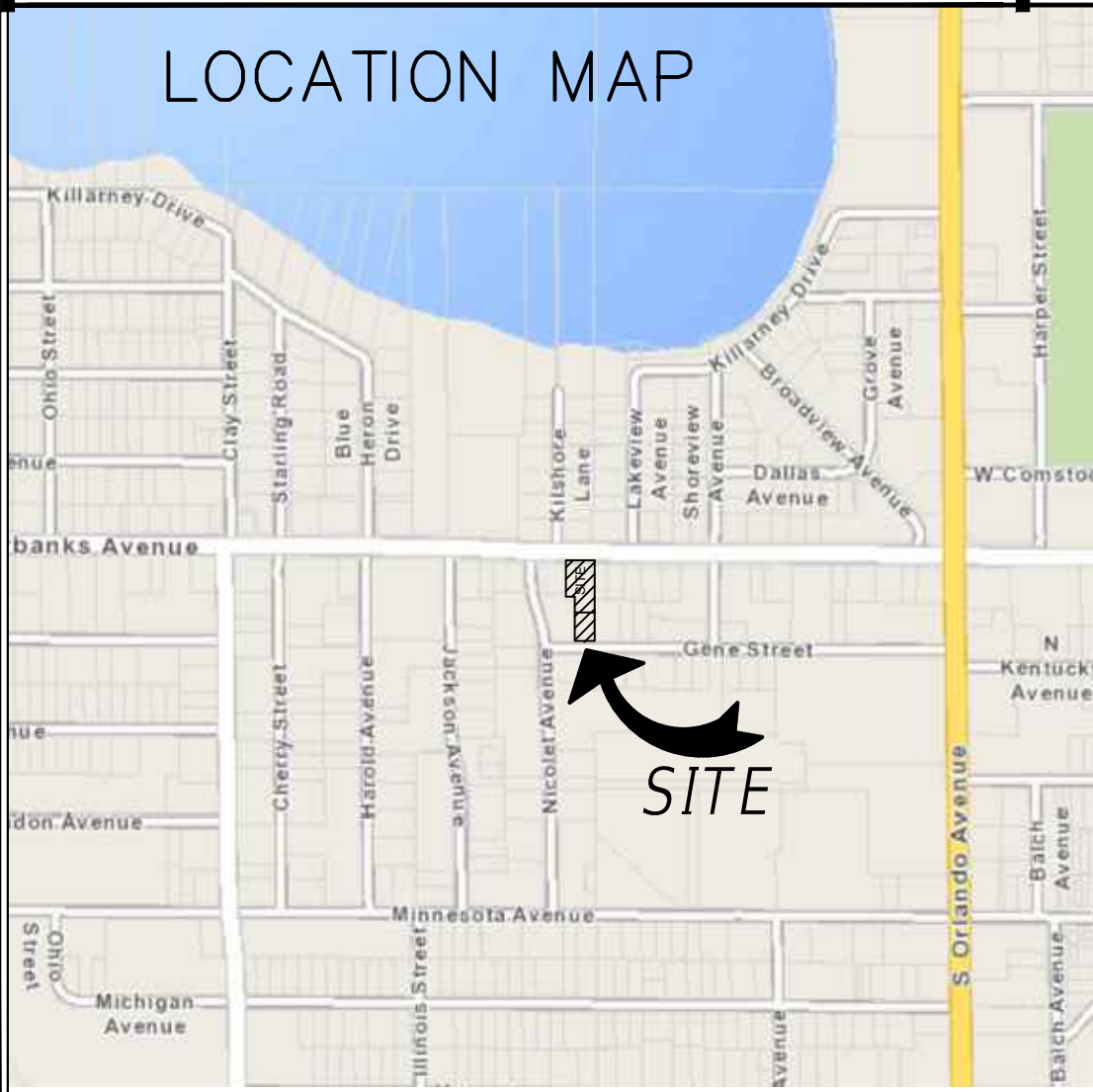
SHT. NO.	DESCRIPTION
CS	COVER SHEET
<i>CIVIL DRAWINGS</i>	
C0	CIVIL DATA SHEET
C1	SITE DIMENSION PLAN
C2	SITE UTILITY PLAN
C3	GRADING AND DRAINAGE PLAN
C3.1	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
△ C3.2	FAIRBANKS DRIVEWAY CROSS SECTION
C4.0	SITE DETAILS I
△ C4.1	SITE DETAILS II
△ C4.2	SITE DETAILS III
△ C4.3	SITE DETAILS IV
△ C4.4	SITE DETAILS V
C5	SITE DETAILS
C6	SITE DETAILS
C7	UTILITY DETAILS
C8	UTILITY DETAILS
C9	EXISTING CONDITIONS/DEMOLITION PLAN
△ C10	TURN RADIUS ANALYSIS
△ C11	CONSTRUCTION MANAGEMENT PLAN
L1	LANDSCAPE PLAN
L2	IRRIGATION PLAN
A-5	BUILDING ELEVATIONS
E-1	PHOTOMETRICS

No.	REVISIONS	DATE	BY
△	PER CITY COMMENTS	6/4/2021	RMK
△	FOR FDOT	6/9/2021	RMK
△	PER CITY & FDOT CMMNTS	12/29/2021	RMK
△	PER CITY & FDOT CMMNTS	6/2/2022	RMK

DRAWN R.M.K. CHECKED M.M.B. DATE 10/20/2018
 JOB NO. SCALE AS SHOWN
 FIL-01-001

PROJECT TITLE
FAIRBANKS PROPERTY
 1490 W. FAIBANKS AVE.
 WINTER PARK, FL
 ORANGE COUNTY, FLORIDA

SEAL
 MOMTAZ BARQ, P.E.



OWNER & CONSULTANTS

OWNER
 1490 FAIRBK INVESTMENT LLC
 RAMI RIFAI
 8221 LAKE SERENE DR
 ORLANDO, FL 32836
 TEL: (407) 923-8612
 EMAIL: RIFAIRAMI@GMAIL.COM

PROJECT GEOTECHNICAL
 MIKE TANVOUS ENGINEERING, INC.
 5703 RED BUG LAKE ROAD, UNIT 312
 WINTER SPRINGS, FL 32708
 PHONE: 407-383-3404
 EMAIL: MTE@MIKETANVOUSEENGINEERING.COM

ARCHITECT
 PAUL MEDLEY ARCHITECT
 CONTACT: PAUL MEDLEY
 756 COVE WAY
 ALTAMONTE SPRINGS, FLORIDA 32712
 TEL: (407) 701-6440

LANDSCAPE ARCHITECT
 ALOHA PACIFICA LLC
 CONTACT: SCOTT MOORE
 605 E. ROBINSON STREET
 ORLANDO FL
 TEL: (407) 369-8288
 EMAIL: ALOHAPACIFICALLC@EMBARCMAIL.COM

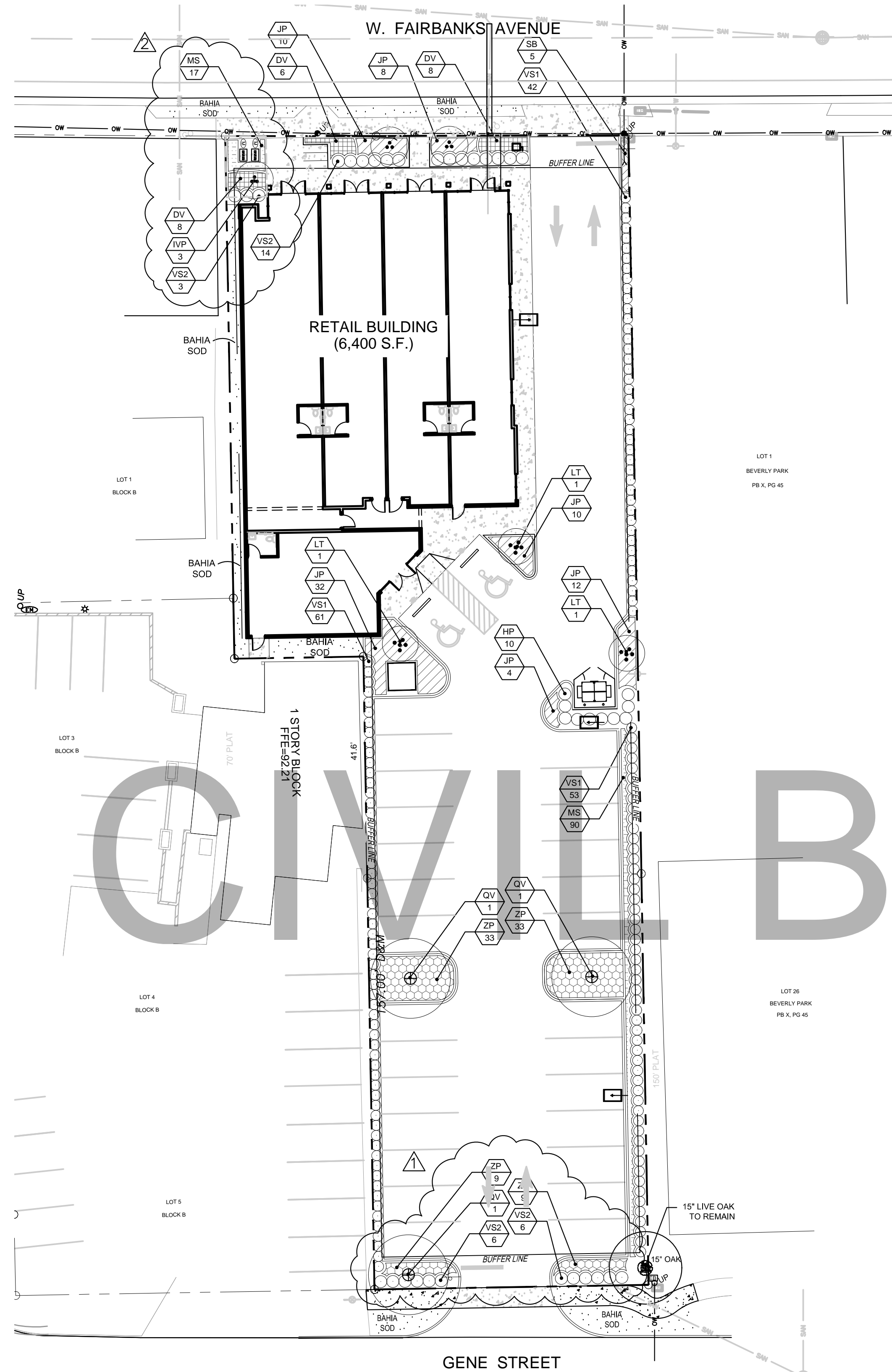
CIVIL ENGINEER
 TERRA-MAX ENGINEERING, INC.
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 ORLANDO, FL 32853
 PHONE: (407) 578-2763
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 EMAIL: BAROMM@TERRAMAXINC.COM

SURVEYOR
 ACCURIGHT SURVEYS OF ORLANDO INC.
 2012 E. ROBINSON STREET
 ORLANDO, FLORIDA 32803
 TEL: (407) 894-6314
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DRAWING TITLE COVER SHEET DRAWING NO. CS

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CITY OF WINTER PARK LANDSCAPING REQUIREMENTS:

LANDSCAPING ADJACENT TO R-O-W
 8' WIDE LANDSCAPE BUFFER AREA, ONE (1) SHADE TREE AND ONE (1) UNDERSTORY TREE PER 50 L.F. AND CONTINUOUS HEDGE- 30" HT. MIN.

GENE ST.: / 50 = 1 SHADE TREE AND 1 UNDERSTORY TREE REQUIRED
 1 EXISTING AND 1 PROPOSED SHADE TREE PROVIDED

VUA INTERIOR LANDSCAPE

MIN. 7.5% OF VEHICULAR USE AREA TO BE LANDSCAPED
 11,735 SF. OF TOTAL VEHICULAR USE AREA

11,735 SF. X 7.5% = 880 SF. INTERIOR LANDSCAPING REQUIRED
 935 SF. INTERIOR LANDSCAPING PROVIDED

BUILDING FACADE LANDSCAPING:

WHEN BUILDING FACADES ARE VISIBLE FROM ANY PUBLIC RIGHT-OF-WAY, ONE HUNDRED PERCENT OF THE TOTAL LENGTH OF THE VISIBLE FACADE(S), EXCLUSIVE OF THOSE AREAS REQUIRED FOR DIRECT ACCESS SHALL HAVE A LANDSCAPE AREA. THE LANDSCAPE AREA SHALL CONTAIN PLANTS AND BE MINIMUM WIDTH OF SIX FEET LOCATED WITHIN A 20-FOOT DISTANCE OF THE FACADE(S) OR IF ADJACENT TO THE BUILDING FACADE IT SHALL BE AT LEAST EIGHT FEET IN WIDTH. A MINIMUM OF FIVE UNDERSTORY TREES SHALL BE REQUIRED FOR EACH ONE HUNDRED LINEAR FEET OF THE REQUIRED LANDSCAPE AREA.

TREE REPLACEMENT REQUIREMENTS:

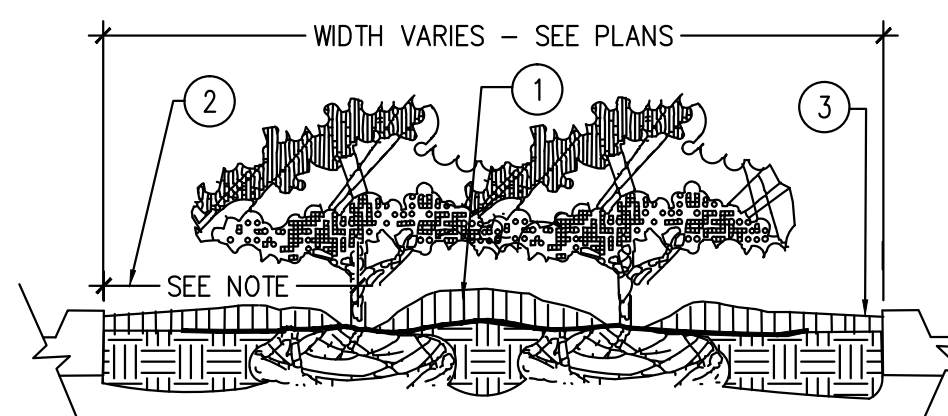
PROTECTED TREES OF ANY DBH REQUESTED TO BE REMOVED BECAUSE THEY ARE DEEMED DEAD OR BEYOND RECOVERY, HAZARDOUS, OR DETERIORATED SHALL BE REPLACED WITH ONE- 3" CALIBER APPROVED REPLACEMENT TREE.

TREES TO BE REMOVED:
 15' LIVE OAK

- (1) 3" REPLACEMENT TREE REQUIRED
- (1) 3" REPLACEMENT TREE PROVIDED

LANDSCAPE PLANT MATERIALS

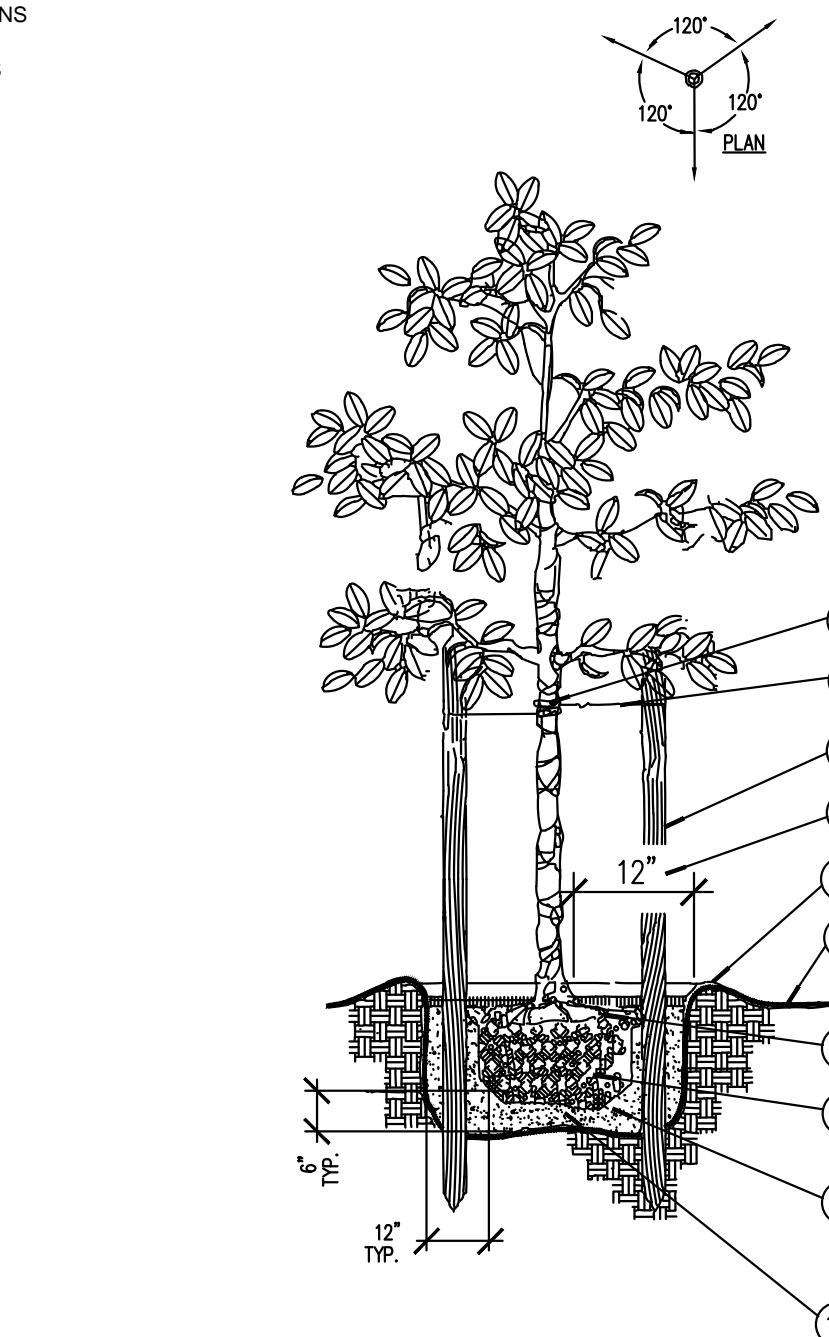
QTY	SYM.	BOTANICAL / COMMON NAME	SPECIFICATIONS	NATIVE
TREES / PALMS				
3	IVP	ILEX VOMITORIA 'PENDULA' / WEEPING YAUPON HOLLY	30 GAL., 3" CALIBER TOTAL, MULTI-TRUNK, FTG	YES
3	LT	LAGERSTROEMIA INDICA / TUSCARORA' GRAPE MYRTLE	45 GAL., 3" CALIBER, 12 HT. X 4' SPD., MULTI	NO
3	QV	QUERCUS VIRGINIANA / 'SKYCLIMBER' OAK	FIELDGROWN, 3" CALIBER, 14' HT. X 6' SPD.	YES
SHRUBS / GRASSES / GROUNDCOVERS				
14	DV	DIETES VEGETA / WHITE AFRICAN IRIS	3 GAL., MIN. 12" HT., FULL, 30" O.C. SPACING	NO
10	HP	HAMELIA PATENS / FIREBUSH	10 GAL., 42" HT. X 24" SPD., 36" O.C. SPACING	YES
86	JP	JUNIPERUS CONFERTA / 'BLUE PACIFIC' JUNIPER	3 GAL., 12" SPD., FULL, 30" O.C. SPACING	YES
110	MS	MIMOSA STRIGILLOSA / SUNSHINE MIMOSA	1 GAL., FULL, 18" O.C. SPACING	NO
5	SB	SPARTINA BAKERI / SAND CORDGRASS	3 GAL., 15" HT. FULL, 36" O.C. SPACING	YES
156	VS1	VIBURNUM SUSPENSUM / SANDANKWA VIBURNUM	3 GAL., 30" HT. X 24" SPD., 30" O.C. SPACING	NO
32	VS2	VIBURNUM SUSPENSUM / SANDANKWA VIBURNUM	7 GAL., 36" HT. X 24" SPD., 36" O.C. SPACING	NO
84	ZP	ZAMIA PUMILA / COONTIE FERN	3 GAL., 12" HT. X 12" SPD., 30" O.C. SPACING	YES
SOD / MULCH				
SF	SOD	PASPALUM NOTATUM / ARGENTINE BAHIA GRASS	S.F. DETERMINED BY CONTRACTOR- SEE PLAN FOR LOCATIONS	
CY	MULCH	DOUBLE-GROUND HARDWOOD MULCH; COCOA BROWN COLOR	3" THICK IN ALL PLANTING AREAS- SEE PLAN FOR LOCATIONS	



PLANTER ISLAND NOTES

1. CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
 2. CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS.
 3. 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.
- NOTES:
- a. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
 - b. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - c. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.

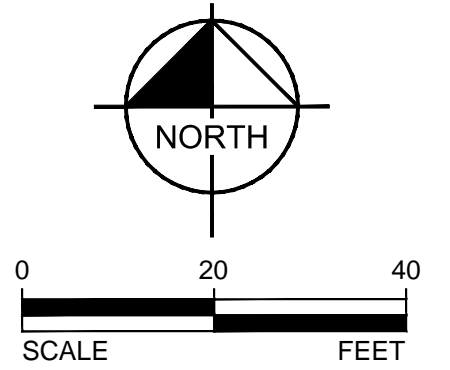
1 PARKING LOT ISLAND PLANTING NOT TO SCALE



2 TREE PLANTING DETAIL NOT TO SCALE

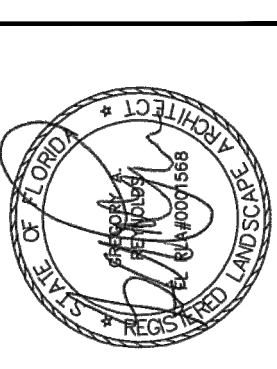
LANDSCAPE GENERAL NOTES:

1. ALL PROPOSED MATERIAL SHALL BE FLORIDA #1 OR BETTER AS DESCRIBED IN 'GRADES AND STANDARDS FOR NURSERY PLANTS' BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (LATEST EDITION). ALL PLANT MATERIAL SHALL BE GUARANTEED FOR (1) ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
2. LANDSCAPE CONTRACTOR TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 200% (HEAD-TO-HEAD) COVERAGE WITH 100% OVERLAP.
3. LANDSCAPING WILL NOT INTERFERE WITH UTILITIES AND DRAINAGE.
4. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT THE WRITTEN APPROVAL AND ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
5. ALL WORK SHALL PROCEED IN A PROFESSIONAL MANNER IN ACCORDANCE WITH STANDARD NURSERY AND INSTALLATION PRACTICE.
6. QUANTITIES AS SHOWN ON THE PLANT LIST ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLANTING PLANS. IF DISCREPANCIES ARISE BETWEEN THE PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT LIST IN ALL CASES.
7. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES, INFRASTRUCTURE AND IRRIGATION LINES PRIOR TO DIGGING.
8. GROUND COVERS AND SHRUBS TO BE LAID OUT IN A CONSISTENT MANNER AS SPECIFIED IN THE PLANTING SPECIFICATIONS AND DETAILS.
9. ALL SOD AREAS TO BE SODDED WITH 100% ST. AUGUSTINE SOD.
10. ALL PLANTING BEDS TO RECEIVE A 2" - 3" LAYER OF DOUBLE-GROUND HARDWOOD MULCH- COCOA BROWN COLOR.
11. LANDSCAPE ARCHITECT TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES FOUND IN THE FIELD.
12. LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 3 DAYS PRIOR TO INSTALLATION OF MATERIAL.
13. LANDSCAPE CONTRACTOR TO VERIFY THAT IRRIGATION SYSTEM IS FULLY OPERATIONAL BEFORE INSTALLATION OF ANY PLANT MATERIAL. THE LANDSCAPE CONTRACTOR WILL ASSUME TOTAL RESPONSIBILITY FOR LOSS OF MATERIAL IF NOT PREVIOUSLY APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
14. PLANT MATERIAL TO BE FIELD ADJUSTED AS NECESSARY TO PREVENT CONFLICT WITH EXISTING AND PROPOSED UTILITIES AND IRRIGATION EQUIPMENT.
15. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE MINIMUM STANDARDS SET FORTH IN THE APPLICABLE CODES OF THE CITY OF WINTER PARK AND ORANGE COUNTY, FLORIDA.
16. GROUNDCOVER SHALL PROVIDE NOT LESS THAN 50% COVERAGE AT TIME OF PLANTING AND 100% COVERAGE WITHIN 6 MONTHS.
17. LANDSCAPE CONTRACTOR TO REPAIR OR REPLACE ANY EXISTING PLANT MATERIAL DISTURBED BY THIS WORK.



NO.	REVISIONS	DATE	BY
1	PER CITY COMMENT	5/10/21	JT

ALOHA PACIFICA LLC
 LANDSCAPE ARCHITECTURE + PLANNING
 1011 W. FAIRBANKS AVENUE, SUITE 200
 WINTER PARK, FLORIDA 32789
 (407) 938-1111



SCALE	AS NOTED	DESIGNED BY	GR	DRAWN BY	BW	CHECKED BY	GR

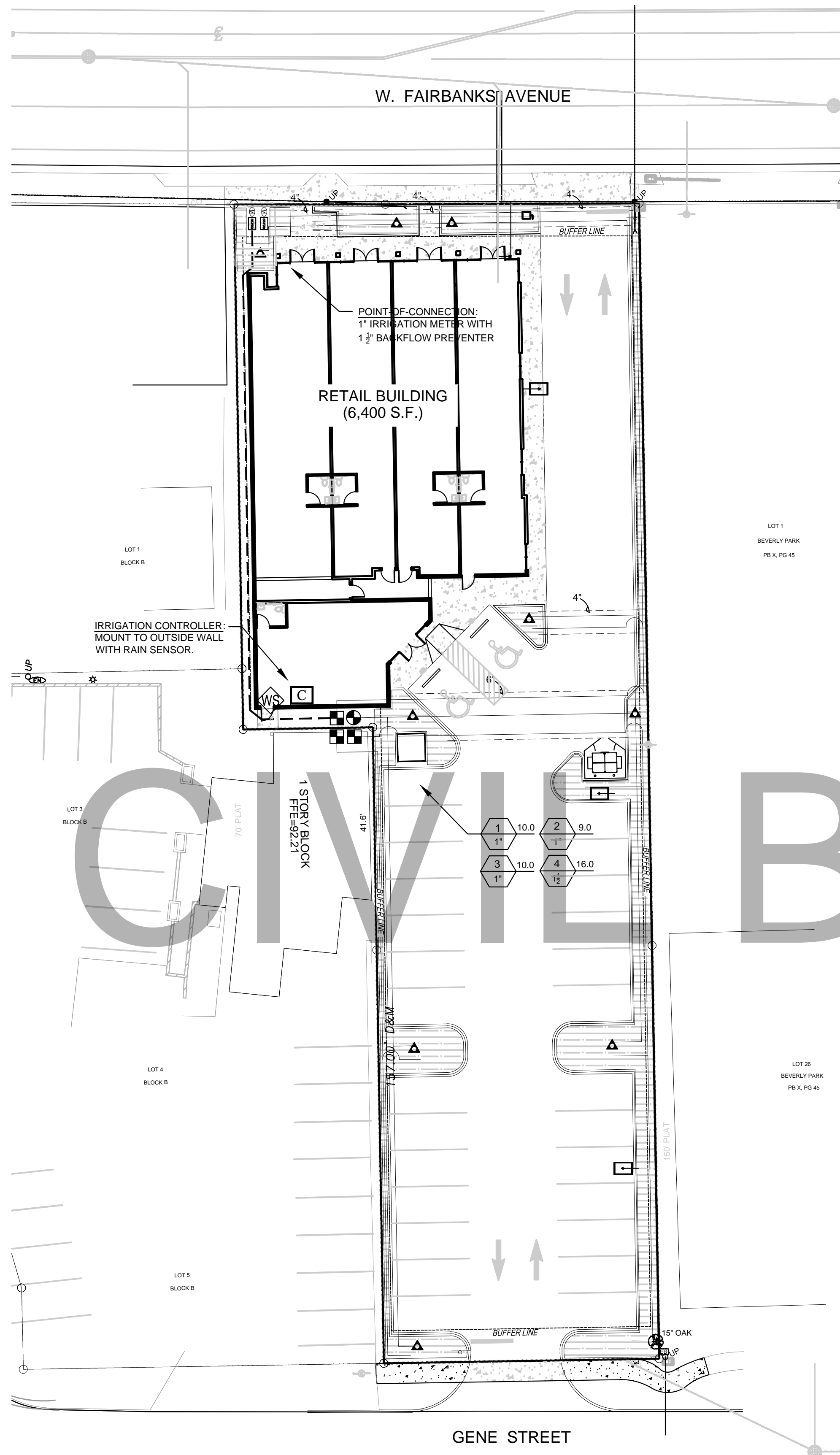
LANDSCAPE PLAN

FAIRBANKS PROPERTY
 1490 W. FAIRBANKS AVE.
 WINTER PARK, FLORIDA

DATE	PROJECT NO.	SHEET NUMBER
5/10/21		L-1

HARBICO
 GENERAL CONTRACTORS, INC.

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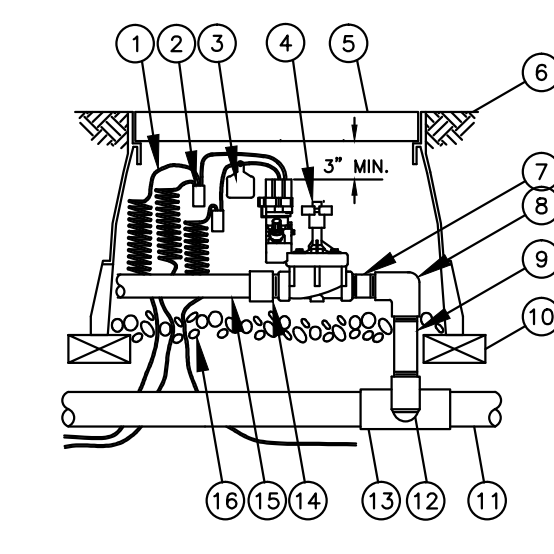
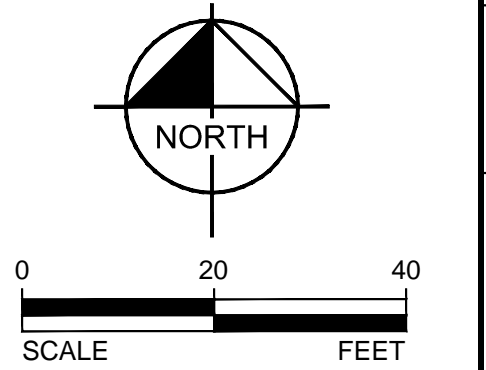


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
[Symbol]	Rain Bird 1806 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
[Symbol]	Rain Bird 1806 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
[Symbol]	Rain Bird 1806 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
[Symbol]	Rain Bird 1806 ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet.	30
[Symbol]	Rain Bird 1806-1400 Flood Flood Bubbler 6.0" popup	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
[Symbol]	Rain Bird XCV-150-PRB-COM Zone Control Kit Pre-Assembled Control Zone Kit, with 1" Series 80 Control Valve, 3/4" Disc Filter, and High Flow Pressure Regulator 4.5GPM to 17.6GPM.	
[Symbol]	Area to Receive Dripline: Rain Bird XFCV Dripline with heavy duty Chrok Valve Techline Pressure Compensating Landscape Dripline with Check Valve, 0.6GPH emitters at 12.0" O.C. Dripline laterals spaced at 12.0" apart, with emitters offset for triangular pattern, 17mm.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
[Symbol]	Rain Bird PEB-PRS-D 1" & 1/2" Plastic Industrial Valves, Low Flow Operating Capability, Globe Configuration, With Pressure Regulator Module.	
[Symbol]	Rain Bird ESP-LXME 8-Station Commercial Controller, Mounted on a locking Plastic Wall Mount- see plan for location.	
[Symbol]	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter- see plan for location.	
[Symbol]	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe.	
[Symbol]	Irrigation Mainline: 2 1/2" PVC Schedule 40 PVC Schedule 40 irrigation pipe.	
[Symbol]	Pipe Sleeve: PVC Class 200 SDR 21	
[Symbol]	Valve Callout: Valve Number Valve Flow Valve Size	

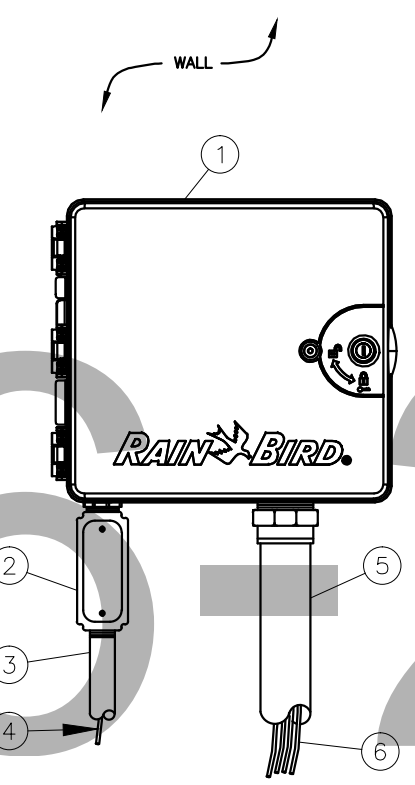
IRRIGATION GENERAL NOTES:

- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL VERIFY.
- INSTALLATION OF WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON-SITE.
- IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
- ALL QUANTITIES AND CALCULATIONS ARE SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FINAL QUANTITIES AND CALCULATIONS TO ENSURE SYSTEM IS FULLY OPERATIONAL.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE POWER SUPPLY TO ELECTRIC CONTROLLERS.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
- ALL COMPONENTS OF THE IRRIGATION SYSTEM SHALL BE PURPLE AS MANUFACTURED FOR EFFLUENT DISTRIBUTION. THIS SHALL INCLUDE AT A MINIMUM PURPLE PIPE, PURPLE AUTOMATIC VALVES, PURPLE VALVE LID COVERS, AND PURPLE HEAD COVERS.
- LOCATE ALL COMPONENTS WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. MAINLINE SHALL NOT BE LOCATED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
- ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES.
- ALL PRESSURIZED MAINLINES UNDER ASPHALT PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
- NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HB" LETTER OUTSIDE OF TIMECLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
- THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
- ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN NDS VALVE BOXES AS FOLLOWS: RECTANGULAR 12"X17" HEAVY DUTY BOX WITH PURPLE COVER FOR REUSE.
- ALL IRRIGATION HEADS/DRIPLING TUBING SHALL BE LOCATED TWO (2) FEET FROM BACK OF CURB WHEN NEXT TO A ROADWAY.
- LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR CONTROLLER LOCATIONS.
- CONTRACTOR SHALL CONFIRM EXISTING CONDITIONS AND VERIFY PERFORMANCE OF EXISTING RAIN SENSOR WITH AUTOMATIC SHUT-OFF DEVICE. CONTRACTOR SHALL REPAIR AND REPLACE IF NECESSARY. COORDINATE WITH OWNER'S REPRESENTATIVE.
- ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY CONTRACTOR.
- ALL CONTROL WIRE SHALL BE INSTALLED IN A 1 1/2" ELECTRICAL CONDUIT.



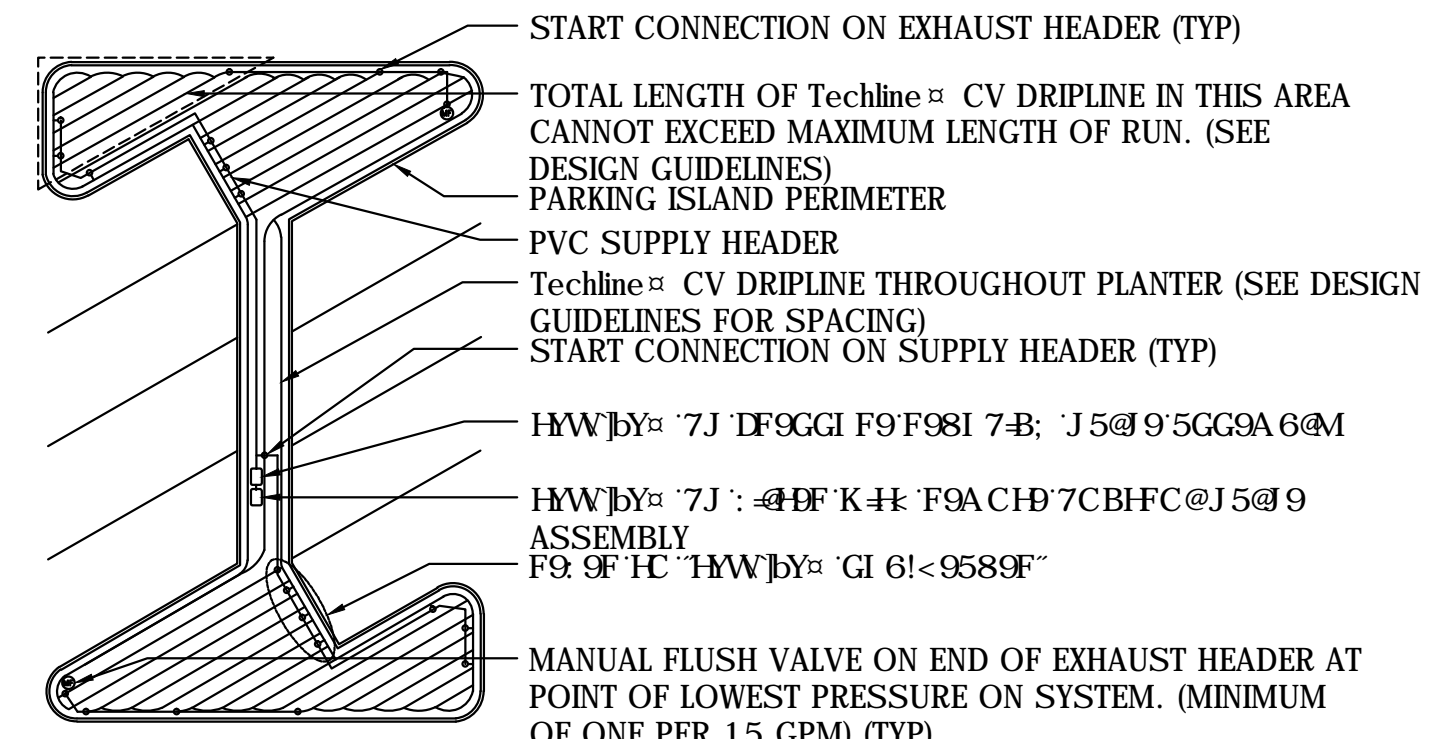
- 30-INCH LINEAR LENGTH OF WIRE, COILED
- WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- REMOTE CONTROL VALVE: RAIN BIRD PEB/PRS-D
- VALVE BOX WITH COVER: RAIN BIRD VB-STD
- FINISH GRADE/TOP OF MULCH
- PVC SCH 80 NIPPLE (CLOSE)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MAINLINE PIPE
- SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- PVC SCH 40 MALE ADAPTER
- PVC LATERAL PIPE
- 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

1 PEB OR PEBS SERIES CONTROL VALVE
NOT TO SCALE



- RAIN BIRD ESP-LXME CONTROLLER IN PLASTIC CABINET WITH WALL MOUNT. INSTALL CONTROLLER AND CABINET ON WALL PER MANUFACTURER'S RECOMMENDATIONS.
- JUNCTION BOX
- 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY
- POWER SUPPLY WIRE
- 2-INCH CONDUIT AND FITTINGS FOR STATION WIRES
- WIRES TO REMOTE CONTROL VALVES

2 ESP-LXME CONTROLLER IN PLASTIC CABINET
NOT TO SCALE

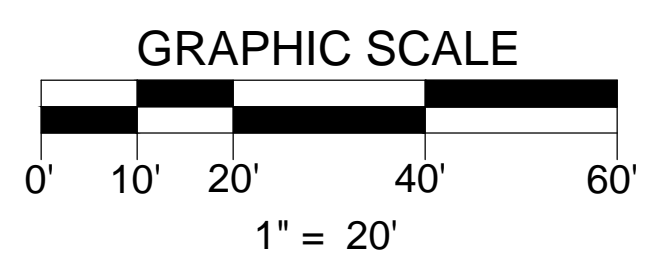
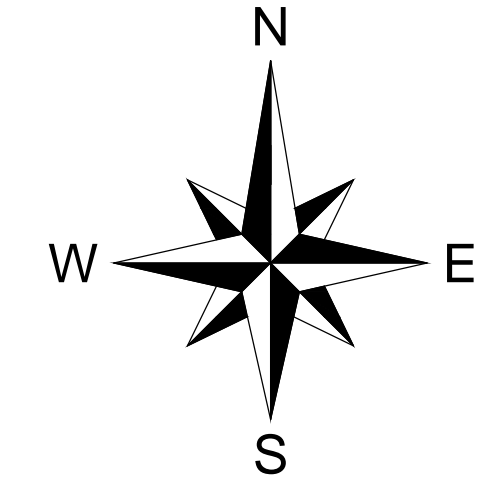
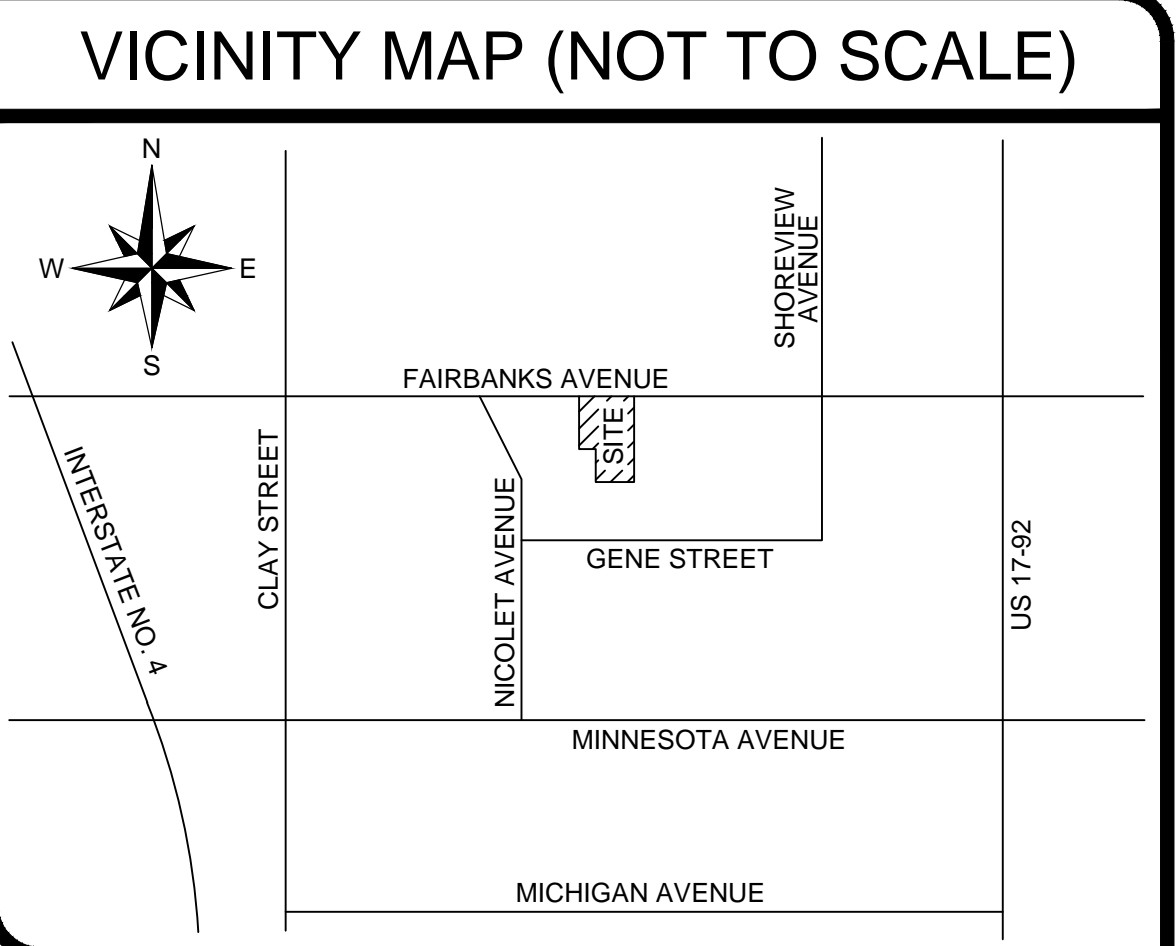


3 HW 7J D5F?B; @CH-G@5B8 @5MCI H
NOT TO SCALE

SCALE AS NOTED	DESIGNED BY GR	DRAWN BY BW	CHECKED BY GR
IRRIGATION PLAN			
FAIRBANKS PROPERTY 1490 W. FAIRBANKS AVE. WINTER PARK, FLORIDA			
DATE	5/10/21	PROJECT NO.	
SHEET NUMBER	L-2	PER CITY COMMENT	REVISIONS
		5/10/21	JT
			DATE



PLAT OF SURVEY



SERVICE AREA NAME:	CONTACT:	PHONE NUMBERS:	UTILITY TYPE:
CHARTER COMMUNICATIONS	HELENE HERNANDEZ	407-532-8092	INTERNET, TV, CABLE, PHONE, FIBER
CITY OF WINTER PARK	REBECCA MORA	407-599-3566	ELECTRIC, SEWER, WATER
DUKE ENERGY	USIC DISPATCH	800-778-9140	ELECTRIC
ORLANDO TELEPHONE COMPANY	MICHELLE DANIEL	407-996-1183	FIBER, TELEPHONE
TECO PEOPLES GAS ORLANDO	DEE MACDONALD	407-420-6650	GAS
A T & T DISTRIBUTION	DINO FARRUGGIO	561-997-0240	TELEPHONE
CENTURYLINK	DISPATCH	855-742-6062	PHONE, FIBER

LEGEND

BB - BOTTOM OF BANK	DW - DRIVEWAY	MF - METAL FENCE	RCP - REINFORCED CONCRETE PIPE
BC - BACK OF CURB	EB - EASEMENT NUMBER	ML - METAL LID	RW - RIGHT OF WAY
BFP - BACK FLOW PREVENTER	EM - ELECTRIC METER	MS - METAL SHED	S - SANITARY MANHOLE
B - BLOCK	EB - ELECTRICAL BOX	M - MITERED END SECTION	S - SANITARY LINE
BM - BENCHMARK	EL - ELEVATION	MW - MONITORING WELL	S - SHOW FOR DIRECTION ONLY
BPC - BURIED POWER CABLE	ESMT - EASEMENT	ND - NAIL & DISK	SN - SIGN
CB - CABLE TV RISER	EIP - EDGE OF PAVEMENT	NAV - NORTH AMERICAN	SN - SIGN
CALC - CALCULATED	FE - FINISHED FLOOR ELEVATION	NAVD - NORTH AMERICAN DATUM	SNW - STOCK WIRE FENCE
CAM - CALCULATED & MEASURED	FFI - FINISHED FLOOR INSURANCE RATE MAP	NGVD - NATIONAL GEODETIC VERTICAL DATUM	SSD - SPOT ELEVATION
CA - CENTRAL ANGLE	FHD - FIRE HYDRANT	NOT TO SCALE	SD - STORM DRAIN LINE
CW - CONCRETE BLOCK WALL	FM - FORCE MAIN	OHE - OVERHEAD ELECTRIC	SD - STORM MANHOLE
CC - COVERED CONCRETE	FND - FOUND	ORB - OFFICIAL RECORDS BOOK	S - STORM INLET
CCR - CERTIFIED CORNER RECORD	FND - FOUND	OW - OVERHEAD WIRE	SP - PLAY BOOK
CF - CONCRETE FLUME	FOC - FIBER OPTIC CABLE	PB - PLANT BOOK	TP - TOP OF BANK
CHW - CONCRETE HEAD WALL	FP - FLAG POLE	PC - POINT OF CURVATURE	PEP - PER ENGINEERING PLANS
CLF - CHAIN LINK FENCE	G - GAS LINE	PP - POINT OF BEGINNING	PG - PAGE
C - CENTERLINE	GAS - GAS METER	P - POINT OF INTERSECTION	PI - POINT OF INTERSECTION
CM - CENTRAL ANGLE	GW - GUY WIRE ANCHOR	PPM - PLAY & MEASURED	PL - PLASTIC PIPE
CMP - CONCRETE MONUMENT	H - HANDICAP PARKING	POB - POINT OF BEGINNING	PL - PLASTIC PIPE
CO - CLEAN OUT	HSE - HIGH DENSITY	POC - POINT OF COMMENCEMENT	PL - PLASTIC PIPE
CONC - CONCRETE	IR - IRON ROD	PI - POINT OF BEGINNING	PL - PLASTIC PIPE
CONV - COVERED	IR - IRON PIPE	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
CP - CONCRETE PAD	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
CW - CONCRETE WALKWAY	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
CR - CORRUGATED METAL PIPE	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
CS - CONCRETE SEWER	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
DAM - DECORATIVE & MEASURED	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
DE - DRAINAGE EASEMENT	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
DESC - DESCRIPTION	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
D - DUMPSTER PAD	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
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	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE
	IR - IRON ROD	PP - POINT OF BEGINNING	PL - PLASTIC PIPE

THIS SURVEY MEETS THE "STANDARDS OF PRACTICE" AS REQUIRED BY CHAPTER 5J-17 FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.

ACCURIGHT
 ACCURIGHT SURVEYS OF ORLANDO INC., LB 4475
 2012 E. Robinson Street, Orlando, Florida 32803
 www.AccurightSurveys.net
 ACCU@AccurightSurveys.net
 PHONE: (407) 894-6314

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER

LEGAL DESCRIPTION

PARCEL 1:
 BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 12, TOWNSHIP 22 SOUTH, RANGE 29 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN WEST 100 FEET; THENCE RUN SOUTH 170.0 FEET; THENCE RUN EAST 32 FEET; THENCE RUN SOUTH 55 FEET; THENCE RUN EAST 68 FEET; THENCE RUN NORTH 225 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THAT PART GIVEN TO THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, AS SHOWN IN THAT CERTAIN DEED RECORDED IN OFFICIAL RECORDS BOOK 2372, PAGE 939, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 2:
 LOT 6, BLOCK B, LAWDALE, THIRD ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK L, PAGE 85, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
 CONTAINS: 23,565 SQUARE FEET OR 0.541 ACRES MORE OR LESS.

NOTES

- BEARING STRUCTURE IS BASED ON THE MONUMENTED SOUTH R/W LINE OF FAIRBANKS AVENUE, BEING: S89°47'11"W (CALCULATED).
- THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENT'S REPRESENTATIVE.
- THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION (AS LOCATED BY SUNSHINE UTILITIES LOCATING SERVICE TICKET NO 294604121) AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS BUILDING/LOT LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 120950265F, COMMUNITY NO. 120188, CITY OF WINTER PARK, ORANGE COUNTY, FLORIDA, EFFECTIVE SEPTEMBER 25, 2009.
- ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
- THIS SURVEY MADE WITHOUT BENEFIT OF COMMITMENT FOR TITLE.
- THIS SURVEY IS VALID ONLY FOR THE PARTIES TO WHOM IT IS CERTIFIED.
- THIS SURVEY EXCEEDS THE ACCURACY REQUIREMENTS SET FORTH IN FLORIDA STATUTES.
- ELEVATIONS BASED ON ORANGE COUNTY BENCHMARK #1010005A HAVING AN ELEVATION OF 90.455 FEET, (NAVD 88).

BOUNDARY SURVEY DATE: 11-2-16
 per 5J-17.051(3)(b)3 Florida Administrative Code

DATE:	JOB #:	REVISION:	BY:
11-15-16	46011	ADDED ADDITIONAL UTILITIES	GLT

BOUNDARY, TOPOGRAPHIC & TREE SURVEY

SCALE: 1" = 20'
 FIELD DATE: 11-2-16
 PREPARED FOR: TERA-MAX ENGINEERING, INC
 LOCATION: 1490 W FAIRBANKS AVENUE, ORLANDO, FLORIDA.
 SUBDIVISION NAME: SECTION 12-22-29
 JOB #45874
 DRAWN BY: GLT